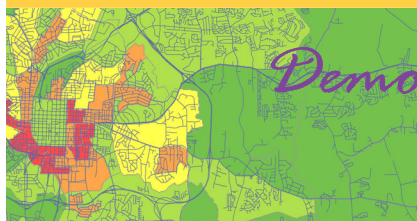




Town of Knightdale

Wake County, North Carolina

QUICK FACT DATA SHEET



Demographics



Town Finances

Population (1/1/05) ¹	7,325
Population AAGR ('00-'05) ¹	4.57%
Population AAGR ('90-'05) ¹	9.64%
Projected Population (2025) ¹	28,934
Number of Employees ('02 ZIP 27545) ²	6,659
Number of Employees AAGR ('98-'02) ²	13.33%
Number of Businesses ('02) ²	303
Number of Businesses AAGR ('98-'02) ²	4.51%
Annual Payroll ('02) ²	\$162.5 million
Annual Payroll AAGR ('98-'02) ²	11.88%
Median Age ³	31 years
Median Family Income ³	\$62,073
Housing Units (1/1/05) ¹	2,887
Owner-Occupied Housing ³	74.3%
Graduated High School ³	91.7%
Bachelor's Degree or Higher ³	33.7%

AAGR = Average Annual Growth Rate

¹ Town of Knightdale Planning Department Estimates

² County Business Pattern Data by Zip Code

³ Census 2000 Data

Tax Base: '03-'04 ¹	\$501,782,840
75% Residential / 25% Commercial	

Operating Budget FY '04-'05 ²	\$6,862,703
Capital Improvement Budget FY '04-'05 ²	\$1,435,290

Unreserved Fund Balance (6/30/04) ²	\$1,292,413
--	-------------

Top 5 Town Taxpayers:¹

- 1) Lowe's Home Center, Inc.
- 2) Laurens Way Co., LP
- 3) Widewaters Knightdale Co., LLC
- 4) Wal-Mart Real Estate Business Trust
- 5) D.R. Horton, Inc.

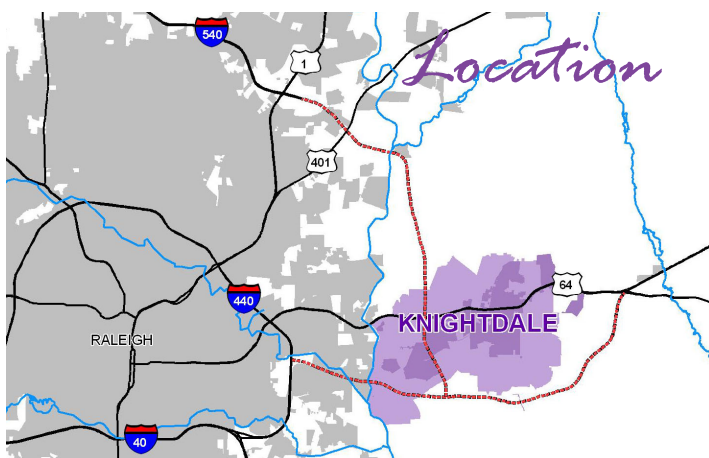
Tax Rates: '04-'05¹

Town of Knightdale	\$0.50 per \$100 valuation
Wake County	\$0.604 per \$100 valuation

Town Employees (Full-Time and Permanent Part-Time)² 48

¹ Wake County Revenue Department

² Town of Knightdale Finance Department



Location



Development Activity

2004 Median Home Sales Price ¹	\$143,000
2004 Average Home Sales Price ¹	\$161,403
Annual Change: Average Sales Price ('03) ¹	17.7%
AAGR: Average Sales Price ('95-'04) ¹	2.7%

Number of Permits New Residential ('04) ²	238
Construction Value: New Residential ('04) ²	\$30.6 million
Annual Change: Value ('03) ¹	141.4%
AAGR: New Residential Value ('00-'04) ¹	23.0%

Number of Permits: Commercial ('04) ²	41
Construction Value: Commercial ('04) ²	\$5.8 million

¹ Wake County Revenue Department

² Town of Knightdale Planning Department

Corporate Limits (1/1/05)	3.88 sq. mi.
Extraterritorial Jurisdiction (1/1/05)	9.56 sq. mi.

Strategically located just east of Raleigh and the Neuse River along the new I-540 and the US 64 Bypass (in red). Just 9 miles from downtown Raleigh and 25 soon-to-be expressway miles from Research Triangle Park!